

NOTICE OF PUBLIC MEETING

BE IT KNOWN that the **Planning Commission**, of the City of Lake Jackson, will meet in Regular Session on **Tuesday, November 7, 2017 at 6:30 p.m.** in the Council Chambers at the Lake Jackson City Hall, 25 Oak Drive, Lake Jackson, Texas with the following agenda:

AGENDA

- A. PLEDGE OF ALLEGIANCE
- B. VISITORS COMMENTS
- C. APPROVAL OF MINUTES – October 2017

At said meeting the Planning Commission will deliberate, discuss, consider and or take final action on any or all the following matters:

1. PRELIMINARY AND FINAL REVIEW AND ACTION TO SITE PLAN AMENDMENT OF HEB STORE AT 97 OYSTER CREEK DR AT LAKE JACKSON TOWN CENTER
2. PRELIMINARY AND FINAL REVIEW AND ACTION TO LANDSCAPE PLAN AMENDMENT OF HEB STORE AT 97 OYSTER CREEK DR AT LAKE JACKSON TOWN CENTER
3. PRELIMINARY AND FINAL REVIEW AND ACTION TO SITE PLAN AMENDMENT OF LOWES AT 200 E HWY 332
4. PRELIMINARY AND FINAL REVIEW AND ACTION TO LANDSCAPE PLAN AMENDMENT OF LOWES AT 200 E HWY 332
5. PRELIMINARY AND FINAL REVIEW AND ACTION TO SITE PLAN AMENDMENT OF WALMART STORE AT 121 W HWY 332
6. SIGNATURE OF DOCUMENTS
7. ITEMS OF COMMUNITY INTEREST
8. SET NEXT MEETING DATE – Tuesday, November 7, 2017 at 6:30 p.m.
9. ADJOURN

I hereby certify that this Public Notice was placed on the Official Bulletin Board at City Hall on Friday, November 3, 2017 at 4:00 p.m.

Alice A. Rodgers, City Secretary

I hereby certify that this Public Notice was removed from the Official Bulletin Board at City Hall on this the _____ day of _____, 2017, at _____ a./p.m.

Alice A. Rodgers, City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (979) 415-2403 or FAX (979) 297-8823 for further information.

STATE OF TEXAS

COUNTY OF BRAZORIA

CITY OF LAKE JACKSON

BE IT KNOWN that the Planning Commission of the City of Lake Jackson met in Regular Session on Tuesday, October 3, 2017 in Lake Jackson, Texas with the following agenda:

Locke Sanders, Chair
Vinay Singhanian
Harry Sargent
Brenda Colegrove
Mayor Rinehart, Council Liaison

William Yenne, City Manager
Sal Aguirre, City Engineer
Sally Villarreal, Asst. City Secretary
Athelstan Sanchez, Asst. City Engineer
Eddie Herrera, Engineering Technician
John Boehm, Asst. to the City Manager
David Van Riper, Public Work Director

PLEDGE OF ALLEGIANCE

Harry Sargent led the Pledge of Allegiance.

VISITORS COMMENTS

There were no visitor comments.

APPROVAL OF MINUTES – August 2017

Minutes were approved as presented.

PUBLIC HEARING AND ACTION ON REZONING OF THE FIRST CHRISTIAN CHURCH LOCATED AT 503 OYSTER CREEK DRIVE, FROM R-2 TO B-3

Staff review and discussion:

This is simply a housekeeping action on property sites that have undergone significant construction modifications from the original while at the same time matching these to the appropriate zoning use. The changes to this site were the full interior reconstruction due to the damages of a past fire incident. The site footprint remained the same with only a slight cosmetic addition of a new steeple that was granted exception of a new site plan review requirement. The reconstruction plan and permit requirements allowed us the opportunity to bring this site in conformance with the zoning changes that are now in effect and the reason for this item. The current R-2 zone is out of step with the institutional use of the site and needs to be brought back into the compliant use in the B-3 now in effect.

Locke Sanders called the Public Hearing at 6:33 p.m.

Mr. Aguirre stated when a site has undergone a major change it is generally brought back up to the correct zone. The First Christian Church suffered a fire and had significant changes made to the interior. The permit was issued with the understanding they come back and comply with the proper zoning from an R-2 to a B-3 where churches are classified.

Mr. Yenne stated when the Christian school went in behind Willow Baptist Church it created quite a stir. An institutional zone was then created for schools or churches called B-3. Within this zone they can have things that are incidental or necessary for a school or a church.

Public Hearing closed at 6:48 p.m.

On motion by Harry Sargent and second by Vinay Singhanian with all present members voting “aye” the rezoning of the First Christian Church located at 503 Oyster Creek Drive, from R-2 to B-3 was approved.

CONSIDER ACTION ON A PERMIT REQUEST FROM CENTENNIAL FOR SITE SIGNAGE MODIFICATION PLAN OF BRAZOS MALL COMPLEX AT 100 W. SH 332

Staff review and comments:

This is a request from the owner to obtain a permit to allow changes to the existing signage number and sizes to include removal of some, with modifications and replacement of others. Please refer to the attachments provided for detail of proposals.

In summary, they are wanting to:

- 1. Remove 4 - existing directional signs within site.*
- 2. Remove 1 - existing pylon sign at FM 2004 entryway.*
- 3. Remove 1 - interior informational sign.*
- 4. Modify existing SH 288 pylon sign with additional sign directory fill in.*
- 5. Modify existing SH 332 pylon sign with new reface or remove and replace with similar SH 288 pylon sign.*

Patty Sayes – 238 Narcissus, Lake Jackson.

Ms. Sayes stated the mall is trying to modify and update the signage for the new stores that are coming in. The current signs are approximately 40 years old.

Mr. Aguirre gave a review on which signs would be demolished and replaced.

Mr. Aguirre stated the remaining directory will be filled on the main large sign on Hwy 288.

Ms. Sayes stated the national stores i.e.: Ulta, TJ Maxx and restaurants want their name on the visible signs. This proposed changes would allow new stores to have their name on the signage.

Mr. Yenne reminded the planning commission that anything over 20 acres is not subject to the standard ordinance. The commission has the ability to work with the property owner to determine size and location of signs.

Mr. Aguirre stated two options for the sign located by the Red Lobster entrance. One option is to increase the size and duplicate the sign on Hwy 288 and the other is to reface the sign.

Mr. Sargent asked if the top of the sign at Red Lobster is LED. Discussion followed regarding the length, types and number of messages.

Mr. Yenne stated no animation or scrolling messages would be allowed.

Ms. Sayes stated the messages would be left for their maximum amount time to avoid danger to motorists trying to read all messages as they are driving by.

Ms. Sayes stated TJ Maxx would not be opening until the beginning of 2018 due to Hurricane Harvey. The TJ Maxx chain is concentrating on having stores that were damaged fixed and re-stocked before new stores are completed.

Mr. Sanders asked about the location of the sign and wanted to make sure it would not be covering passing motorist views.

Ms. Colegrove asked how tall the current sign is located by the Red Lobster entrance.

Mr. Aguirre replied he wasn't certain, but the new proposed sign would be 40' high.

Mr. Sanders suggested removing hedges to create better visibility.

Mr. Sanders also suggested moving the sign back approximately 10'- 15' from the road to help with visibility.

On motion by Vinay Singhania second by Harry Sargent with all present members voting "aye" the sign modification at Brazos Mall Complex located at 100 W. SH 332 was approved as presented for Hwy 288 and Hwy 332, contingent on the Hwy 332 sign is moved back 10' – 15' and hedges are removed.

CONSIDER ACTION ON A REQUEST FOR CONDITIONAL USE ACCESSORY BUILDING TO CARRIAGE SQUARE FLOWER SHOP PROPERTY LOCATED AT 117 NORTH PARKING PLACE

Staff review and discussion:

This is a request from the business owner to obtain a permit to allow her to install a pre-fab storage building for use as accessory to the storage needs of her business. Please refer to the attachments provided, i.e., storage building product, site aerial view location, and principal building look and type. According to the B-2 zone this site lies in, Section 110-174 (11) an accessory building is defined as any customary, incidental to business as a conditional use where materials must be similar to the principal building. The accessory building conditional use determination and its compatibility of materials are the issues that come before you for consideration and action under the conditional use guidelines established by amendment 14-2025 to zoning ordinance.

The owner of the flower shop was not present.

Mr. Aguirre stated accessory buildings are allowed in the business district if it's for conditional use after the planning commission determines it to be appropriate.

Mr. Aguirre stated the building should match the architecture of the building, but the color does not matter.

Mr. Aguirre stated the owner is trying to add an accessory building for storage area for her business.

Mr. Sargent asked if the building would be visible from the road.

Mr. Aguirre stated the storage would be hidden behind the building.

Mr. Yenne stated the building materials should match.

Mr. Aguirre stated the building is made of cinderblock, but the storage building is not.

Mr. Singhania stated he didn't feel the building meets the intent.

Mr. Sargent asked if the planners commission has the authority to make the decision because it does not meet the intent of the ordinance.

Mr. Yenne stated Mr. Singhanian was correct and that if this is allowed, these types of buildings could start popping up in other areas.

Mr. Aguirre also stated that the owner said it would be better than what she currently has, but she is aware the building does not meet the ordinance.

Mr. Yenne stated Ms. Russell should be present.

Mr. Sanders stated this item would be tabled for next meeting. If the owner would like to bring it back, Sherri Russell should be present to answer questions and clarify authorities at the next meeting.

No action was taken.

PRELIMINARY AND FINAL REVIEW AND ACTION TO PLAT AMENDMENT OF CREEKSIDE SUBDIVISION PHASE 3

Staff review and comments:

The reason for this amendment came from a change of heart by CenterPoint of the needed utility easement width to service this part of the subdivision. Originally, they had agreed on a 7' utility easement running along an additional drainage easement width for a total of 15' easement. Their position changed to have the entire 15' designated as an exclusive CenterPoint easement but willing to share it with the existing drainage infrastructure. The city's policy on drainage maintenance negates this condition as it will not assume maintenance obligations outside of dedicated drainage easements. This was returned to the developer for their further negotiation with CenterPoint and currently carries the drainage easement dedication.

In a related issue, the proposed building fence location along this easement has become questionable as to the maintenance feasibility and problems the city would inherit if left in place. A 7' corridor between fences makes it hard for it to be mowed with regular equipment which leaves this to manual weed eating chore. In trying to minimize this additional task to already strained resources, the city's request to the developer is that the owner be allowed to fence the entire lot inclusive of drainage and utility easement with city maintenance limited to underground piping system. The owner will be responsible for yard maintenance of his entire property and of the drain inlets serving the older neighborhood backyard drainage. A fence opening treatment will be required at the existing inlets as pass through of the backyard drainage flow.

All these conditions will be required to be noted and included in the plat.

Mr. John Weaver – 320 Linden Lane

Mr. Weaver stated there is an opportunity to settle an easement with the city and power company. Because the area backs up to Oyster Bend and the property that is being improved is higher than the existing place, a drainage area is needed to make sure water is not backed up because the normal flow is flowing back into the property.

Mr. Weaver stated a drainage easement was designed to carry the water. It will come out and flow out to the drainage ditch that goes into the retention pond.

When talking to the utility company they originally thought only another 8' of utility easement was needed.

Mr. Weaver stated a change has been made and the power company would like to have a dual easement where both drainage and utility easement is shared. Instead of it being a 7' drainage and 8' utility easement it will be a shared 15' drainage and utility easement.

Mr. Weaver stated in the original plat, the homeowners could build a 7' fence. Mr. Weaver is proposing a fence could be put up on the back side of the lots where the drainage pickups are. These fences could be 4' wide chain link or a metal that would allow flow from the old property into the drainage collection center and ultimately flow into the retention pond.

Mr. Aguirre stated CenterPoint agrees with the shared 15' utility and drainage easement.

Mr. Sargent asked if the cables are underground.

Mr. Weaver replied it would be underground.

Mr. Sargent asked about the elevation in the old lots vs. the new lots.

Mr. Aguirre replied there is drainage both ways. There is a divide approximately ½ way down the lot, it goes to the front and partially to the back.

Mr. Singhanian expressed concerns about future homeowners fencing.

Mr. Weaver stated they are telling their clients the fence is a special need; the first homeowner will know the fence has to be there. The issue may come the next time the home is bought.

Mr. Sargent asked if any specifications needed to be included for the fence, for example: standard chain link fence.

Mr. Aguirre reviewed the plans and stated the fences constructed along the rear property line shall include a minimum of 6' wide x 4" high opening at the bottom of the fence centered over the existing pool of the area inlets at back property line. The openings may be covered by mesh wire or chain link materials.

Mr. Aguirre stated this situation is the same situation from Majestic Oaks. Mr. Aguirre stated what had to be done was install a bare minimum pipe to help with the drainage. When doing old to new development, this usually occurs.

On motion by Harry Sargent second by Brenda Colegrove with all present members voting "aye" the plat amendment of Creekside Subdivision Phase 3 was approved.

SIGNATURE OF DOCUMENTS

Documents were signed.

ITEMS OF COMMUNITY INTEREST

Mr. Singhanian commented the sub-contractors were not doing a very good job.

Mr. Yenne stated the crews are working very hard. The sub-contractors are spread very thin throughout the coast that has been affected. Crowder Gulf has provided the city with one crew.

Ms. Colegrove stated the HOA of the Timbercreek area would like to have a meeting to discuss how the drainage works in their area.

Mr. Yenne briefly discussed the water levels and the drainage. He also stated a meeting would be possible. Mr. Yenne suggested having a representative from each neighborhood would be more appropriate.

Mayor Rinehart stated he reached out to a couple of residents from the Spanish Oaks Circle subdivision and they came up with a dialogue to follow. The HOA of Spanish Oaks has already had a meeting and selected a four-person committee. The residents have until Friday to compile questions. A meeting will be held with the representatives and possibly with the residents as well. There was a lot of miscommunication during the flooding event. Mayor Rinehart commended city staff on the job and time they put into the event.

Mayor Rinehart stated Brian's Fill Station plans to open by October 15, 2017.

Mr. Yenne stated the Wellington Group is trying to sell the land behind Chicken Express. The Brazos Mall is doing a good job marketing. Mr. Yenne stated the first meeting with Buxton has taken place. Buxton will help the city vision what types of stores and retailers are fit for our area.

Mr. Sanders thanked the city for the wonderful job during the storm and flood. Mr. Sanders also thanked the city for the communications during the event.

Mr. Singhania also stated he was very pleased for the great job the city did to during the flood.

SET NEXT MEETING DATE

The next meeting date was set for Tuesday, November 7, 2017 at 6:30 p.m.

ADJOURN

There being no further business the meeting was adjourned at 7:59 p.m.

These minutes read and approved this _____ day of _____, 2017.

Locke Sanders, Chairman

Jeffrey Gilbert, Secretary

Memo



To: PLANNING COMMISSION
From: SAL AGUIRRE
CC: CITY SECRETARY
Date: 11-3-17
Re: NOVEMBER 7, 2017 HIGHLIGHTS AND ISSUES AGENDA

1. **PRELIMINARY AND FINAL REVIEW AND ACTION TO SITE PLAN AMENDMENT OF HEB STORE AT 97 OYSTER CREEK DRIVE AT LAKE JACKSON TOWN CENTER**

This is the city's first in the grocery store business model trends of curbside service in response to the online shopping lifestyle of today's consumer.

The store is modifying the building footprint adding a 1,200 sq. ft. delivery station in the rear of the pharmacy area. As an accessory to this, an adjacent parking area is proposed with 10 pickup spaces.

All the site modifications are taking place within a previously planned store expansion area and thus any removal of existing open or trees in the area had been previously sanctioned in the approved site plans. Since parking remains and enhanced by this, there are no issues with this revised condition.

The drainage had also been considered in the future development of this area, so there is no issue concerning this modification. The amendment site plan gets us an updated condition as intended and is recommended for your consideration for its approval.

2. **PRELIMINARY AND FINAL REVIEW AND ACTION TO LANDSCAPE PLAN AMENDMENT OF HEB STORE AT 97 OYSTER CREEK DRIVE AT LAKE JACKSON TOWN CENTER**

The proposed changes to the site made minimal impact on the existing landscape plan due to it being relegated to an approved future development area where trees were approved for removal. The trees currently in this area that were left by choice are showing signs of distress but only one of these is scheduled for removal with this modification. There will be two crepe myrtles in the count and perimeter screening that will be removed for the new entrance from Grapevine, but these trees have been planned for relocation or renewed.

As the byproduct of landscape plan amendments is the chance to update the state of conditions from the previous plan. This allowed us to see that the three previously protected trees in count had been affected in the course of time with two of these being lost by removal or nature.

Due to the remaining trees in the approved plan not included in the count, the healthier two of these have been designated as replacement for protected tree status.

No other landscape plan changes were affected by this amendment and no further issues remain for your consideration of approval.

3. **PRELIMINARY AND FINAL REVIEW AND ACTION TO SITE PLAN AMENDMENT OF LOWE'S AT 200 E HWY 332**

This site plan modification comes as a negative result of the previous site changes this has had. The past parking field and travel lane changes have created a traffic flow congestion at the lumber pickup area of the store and the driveway access at Abner Jackson Parkway. The store tried traffic channelization measures to minimize the conflict but did not improve the situation.

This is the engineered attempt to resolve this condition and is one that installs a 30' wide drive lane along the north building wall of the store with connections to west and east driveway access to Abner Jackson Parkway as a cue in type and loading zone measure.

As a supplement to this will be the addition of 11 parking spaces within the affected parking field area. Because, the modifications to the site only adds parking spaces to the plan, this is no issue to consider. Drainage has increased due to the added impervious surface replacing previously open ground surface but the flow occurs in the discharge end of the site's system or roadside system that have been found to have the capacity to handle.

The amendment site plan gets us an updated condition as intended and is recommended for your consideration for its approval.

4. **PRELIMINARY AND FINAL REVIEW AND ACTION TO LANDSCAPE PLAN AMENDMENT OF LOWE'S AT 200 E HWY 332**

The proposed changes to the site made by the 30' wide drive has minimal impact on the existing landscape plan due to it being relegated to an existing open/sodded area devoid of any trees other than reducing the existing landscape area in the plan.

The parking space addition does have more of an impact on the existing tree count condition as it removes four (4) existing live oaks and open sodded area. This plan replaces the four (4) live oaks with in-kind 4 - 3" caliper ones. The loss of landscape areas due to the new installation reduces it to 20%, but still complies with the 10% minimum.

As the by-product of landscape plan amendments is the chance to update the state of conditions from the previous plan. This has allowed us to see how the previous trees in count have fared since the previous approved plan. This current evaluation has not been performed, but will be presented to the building official to report as discussion item.

No other landscape plan changes were affected by this amendment and your consideration of approval as an alternate amendment plan based on previous approved exceptions of the original 1994 landscape plan conditioned on evaluation of current tree count.

5. PRELIMINARY AND FINAL REVIEW AND ACTION TO SITE PLAN AMENDMENT OF WALMART STORE AT 121 W HWY 332

This is the sequel of the first agenda item of the grocery store business model trends of curbside service in response to the online shopping lifestyle of today's consumer.

In this case though the store is not modifying the building footprint in order to add a delivery station in the northeast corner of the building. As an accessory to this, an adjacent existing parking field of 15 spaces is proposed to be restriped and designated for 8 pickup spaces resulting in a net loss of 7 spaces.

All modifications are cosmetic and taking place within an existing developed area with no open or landscaped areas involved. Since a surplus of 20 parking spaces currently is designated in the current plan, the loss of 7 is not an issue with this revised condition.

The drainage surfaces remain as existing and there is no issue concerning this modification either. The amendment site plan gets us an updated condition as intended and is recommended for your consideration for its approval.

6. SIGNATURE OF DOCUMENTS

Lowe's Site and Landscape Plan Amendment
HEB Site and Landscape Plan Amendment

CITY OF LAKE JACKSON SITE NOTES

- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CIVIL AND LANDSCAPE PLANS INCLUDED IN THE CIVIL SITE PACKAGE AND THE PROJECT SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PER CITY OF LAKE JACKSON STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION WITHIN TxDOT RIGHT-OF-WAY SHALL BE PER TxDOT STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR SHALL FIVE THE CITY A MINIMUM OF 48 HRS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR AND CIVIL ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION AND CONTRACTOR SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BUILDING FACE OF BRICK, STONE AND FACE OF WALLS, UNLESS OTHERWISE NOTED.
- THE AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES BOTH FEDERAL AND STATE ARE TO BE INCORPORATED IN ALL CONSTRUCTION DOCUMENTS.
- POSTING OF FIRE LANES IS REQUIRED. PROVIDE A RED STRIPE 6" WIDE AND THE WORDS "FIRE LANE - NO PARKING" IN 4" WHITE LETTERS SPACES EVERY 25 FT ALONG CURB AND PAVEMENT AND AROUND PERIMETER OF BUILDING.
- ALL WATER, SANITARY SEWER AND STORM DRAINAGE OUTFALL SYSTEMS SERVING THE SITE AND NOT WITHIN PUBLIC EASEMENTS OR RIGHT OF WAY ARE PRIVATELY OWNED AND MAINTAINED AND ARE TO BE CONSTRUCTED TO THE CITY OF LAKE JACKSON STANDARDS.
- THE DRAWINGS IN THE FOLLOWING INDEX OF DRAWINGS ARE PART OF THE SUPPORTING DATA FOR APPROVAL OF THIS SITE PLAN.

- C-0.0 COVER SHEET
- C-0.1 GENERAL NOTES 1 OF 2
- C-0.2 GENERAL NOTES 2 OF 2
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 CLEARING, GRUBBING & PUBLIC UTILITY ABANDONMENT
- C-1.2 STORM WATER POLLUTION PREVENTION PLAN
- C-1.3 STORM WATER POLLUTION PREVENTION PLAN DETAILS
- C-1.4 DEMOLITION PLAN
- C-2.0 PAD PREPARATION PLAN
- C-2.1 SITE BUILDING INTERFACE PLAN
- C-2.2 SITE PLAN
- C-2.3 PAVING PLAN
- C-2.4 UTILITY PLAN
- C-2.5 STORM SEWER PLAN
- C-2.6 DRAINAGE AREA MAP
- C-2.7 DRAINAGE AREA CALCULATIONS
- C-2.8 SITE PLAN DETAILS
- C-2.9 SITE PLAN DETAILS
- C-2.10 GRADING PLAN DETAILS
- C-2.11 UTILITY PLAN DETAILS
- C-2.12 MISCELLANEOUS DETAILS
- C-2.13 PAVEMENT DETAILS
- C-2.14 PLAT

- L-0.0 TREE PRESERVATION PLAN
- L-1.0 PLANTING PLAN OVERALL SITE
- L-1.1 PLANTING PLAN NORTHWEST SECTION
- L-1.2 PLANTING PLAN NORTHEAST SECTION
- L-1.3 PLANTING PLAN MIDWEST SECTION
- L-1.4 PLANTING PLAN MIDEAST SECTION
- L-1.5 PLANTING PLAN DETAILS
- L-2.0 IRRIGATION PLAN OVERALL SITE
- L-2.1 IRRIGATION PLAN NORTHWEST SECTION
- L-2.2 IRRIGATION PLAN NORTHEAST SECTION
- L-2.3 IRRIGATION PLAN MIDWEST SECTION
- L-2.4 IRRIGATION PLAN MIDEAST SECTION
- L-2.5 IRRIGATION PLAN DETAILS

14. REFER TO C-1.4 FOR DEMOLITION PLAN.

SITE SUMMARY

LAND AREA:	11.70 AC
TOTAL H.E.B. BUILDING AREA:	83,185 SF
TOTAL LEASE BUILDING AREA:	15,114 SF
TOTAL BUILDING AREA:	98,299 SF

PARKING SUMMARY

PARKING PROVIDED RETAIL:	76 SPACES
PARKING PROVIDED REB:	503 SPACES
HANDICAP PARKING REQUIRED:	16 SPACES
HANDICAP PARKING PROVIDED:	17 SPACES
PARKING PROVIDED WITHIN 300':	336 SPACES
PARTNER PARKING:	TBD
PARKING RATIO PROVIDED (REB):	1:166
PARKING RATIO PROVIDED (RETAIL):	1:200
PARKING RATIO W/ EXPANSION:	1:205
(TOTAL BUILDING AREA/TOTAL SPACES)	

- FIRE LANE
- LIMITS OF CONSTRUCTION
- LIMITS OF BUILDING AND SITE PLANS
- ① KEY NOTE NUMBER
- Ⓜ DETAIL AND SHEET NUMBER
- Ⓟ PARTNER PARKING
- Ⓠ PARKING COUNT PER ISLE

D5 SHEET LEGEND

NOT TO SCALE

C5 CITY OF LAKE JACKSON GENERAL NOTES

- 2.0' OVERHANG (TYP.)
- 4" WHITE STRIPE
- FIRE LANE SHALL HAVE 3" WHITE LETTERS STENCILED ON 6" RED STRIPE STATING "FIRE LANE - NO PARKING" EVERY 50 FEET.
- HEB MONUMENT SIGN. RE: ARCHITECT PLANS
- HEB PYLON SIGN. RE: ARCHITECT PLANS
- HEB FUEL PRICE SIGN. RE: ARCHITECT PLANS
- 4" BLUE STRIPE DESIGNATING PARTNER PARKING SPACES
- VENDOR PARKING
- INSTALL 2" CONCRETE STRIPS ON PLANTERS RE: A5/B.1 WHEN USING SPRAY HEAP IRRIGATION.
- INSTALL PRE-FABRICATED SPEED BUMPS PER MANUFACTURER'S RECOMMENDATIONS. SEE BELOW FOR WEBSITES OF APPROVED MANUFACTURERS:
 - www.trafficcontrolproducts.com/products/product-detail.cfm?productid=92
 - www.trafficcontrol.com/trafficcontrol/Products/SpeedBumps
 SPEED OR HIGHWAY BUMPS SHOULD NOT BE PLACED WITHIN 30 FEET OF ANY AREA DESIGNATED AS A PEDESTRIAN CROSS WALK.
- MASONRY WALL RE: ARCH PLANS
- CONCRETE COMPACTOR PAD
 - INSTALL A 8' WIDE X 30' (MIN.) CONCRETE PAD FOR THE MAIN WAREHOUSE COMPACTOR
 - INSTALL A 8' WIDE X 24' (MIN.) CONCRETE PAD FOR THE PRODUCE COMPACTOR
 - NOTE: PAD MUST EXTENDED A MINIMUM DISTANCE OF 5 FEET IN FRONT OF THE COMPACTOR. REFER TO THE ARCHITECTS PLANS FOR DETAILS AND SPECIFICATIONS FOR THE COMPACTOR UNITS. REFER TO STRUCTURAL PLANS FOR THE COMPACTOR PAD PAVEMENT RECOMMENDATIONS AND SPECIFICATIONS.
- STOP BAR
- WHEELCHAIR RAMP TO MATCH CITY OF LAKE JACKSON STANDARD RAMPS ON OAK DR. & OYSTER CREEK DR. TRANSITION FROM EXISTING WALK TO BE MADE AND STOP BAR INSTALLED AS INDICATED.

B5 KEY NOTES

FLOODPLAIN INFORMATION

ACCORDING TO MAP NO. 48039C 0615H OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, DATED JUNE 15, 1985, AND HAVE DETERMINED THAT THE TRACT HEREIN PLATTED LIES WHOLLY WITHIN ZONE "X" (500-YEAR FLOOD).

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

LEGAL DESCRIPTION:

38.4854 ACRES OF LAND SITUATED IN THE JARED E. GROCE LEAGUE GRANT, ABSTRACT 86, CITY OF LAKE JACKSON, BRAZORIA COUNTY, TEXAS.

BENCHMARKS:

CITY OF LAKE JACKSON NOS VERTICAL BENCHMARK NORTHING: 13900525.4099
EASTING: 3040421.09502
ELEVATION: 12.39 FEET (NAVD 88) 2001 ADJUSTED.

PLEASE BE ADVISED: THIS DOCUMENT MAY CONTAIN SENSITIVE AND/OR PROPRIETARY INFORMATION AND THEREFORE MUST BE TREATED AS A CONFIDENTIAL DOCUMENT. ACCEPTANCE OF THIS DOCUMENT CONSTITUTES AN AGREEMENT THAT THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN SHALL BE MAINTAINED AND TRANSMITTED IN A CONFIDENTIAL MANNER. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED, RELEASED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF H.E.B. ANY DISTRIBUTION TO NON-H.E.B. ENTITIES OR PERSONS MUST BE SUBJECT TO A WRITTEN CONFIDENTIALITY AGREEMENT.

A5 KEY NOTES/LEGEND

NOT TO SCALE

09.07.2017

ISSUE 01

Ⓜ BULLETIN 1 REVISION TO AVOID TREE TO WEST FIELD LOCATION

Ⓝ REVISED SIDEWALK PER CITY OF LAKE JACKSON REQUEST

Ⓟ ADDED PROPOSED CURBSIDE BUILDING & ADDITIONAL PARKING

STATE OF TEXAS
COUNTY OF BRAZORIA
STEPHEN H. HOBBS
09986

9/22/17

LJA Engineering Inc.
2929 Briarpark Drive
Suite 600
Houston, Texas 77042-3703

Phone 713.953.5200
Fax 713.953.5036
FRN-F-1336

H-E-B

SITE PLAN

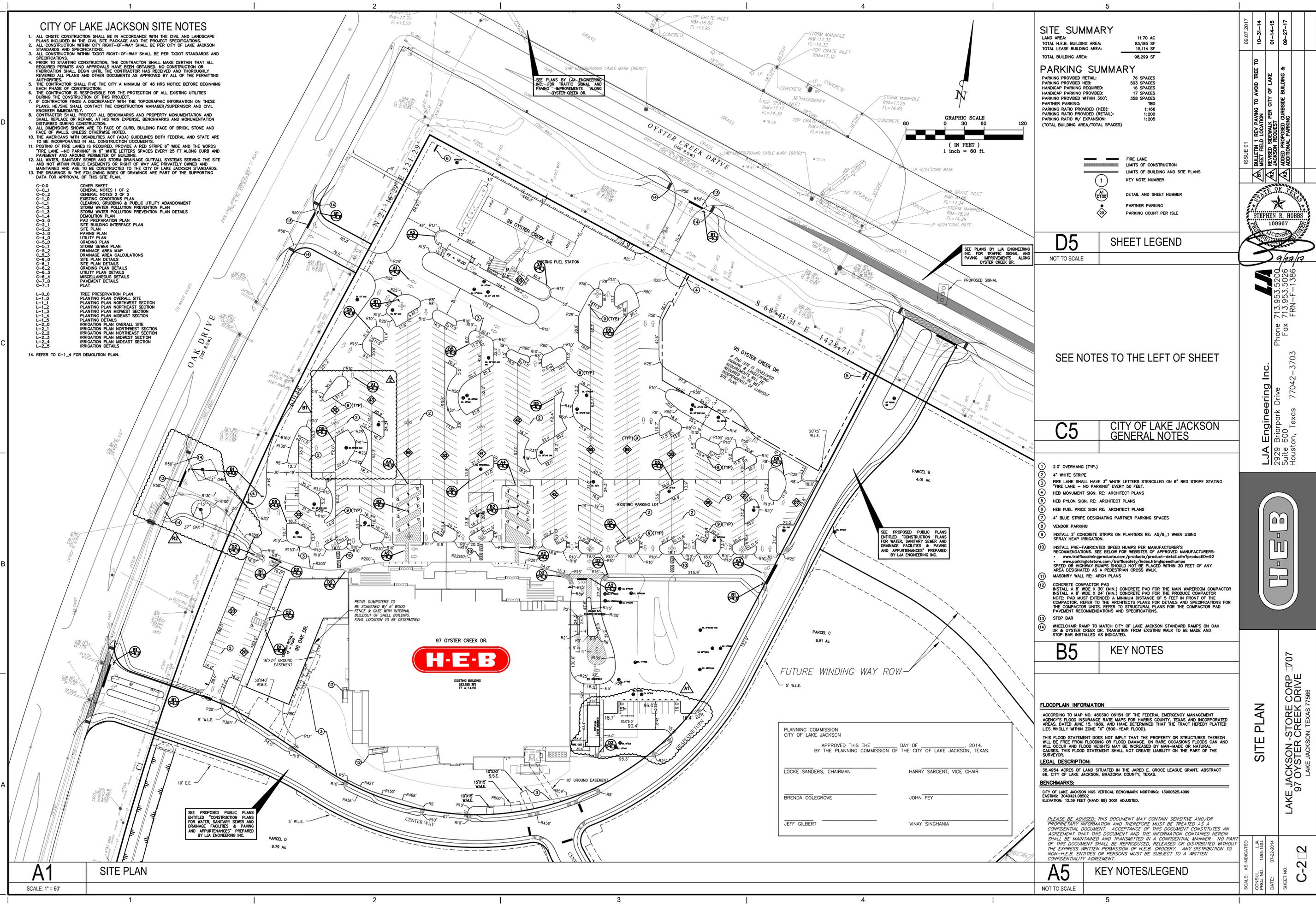
LAKE JACKSON - STORE CORP 707
97 OYSTER CREEK DRIVE
LAKE JACKSON, TEXAS 77586

SCALE: AS INDICATED

CAD FILE: LJA PROJ NO.: 1455-140

DATE: 07-22-2014

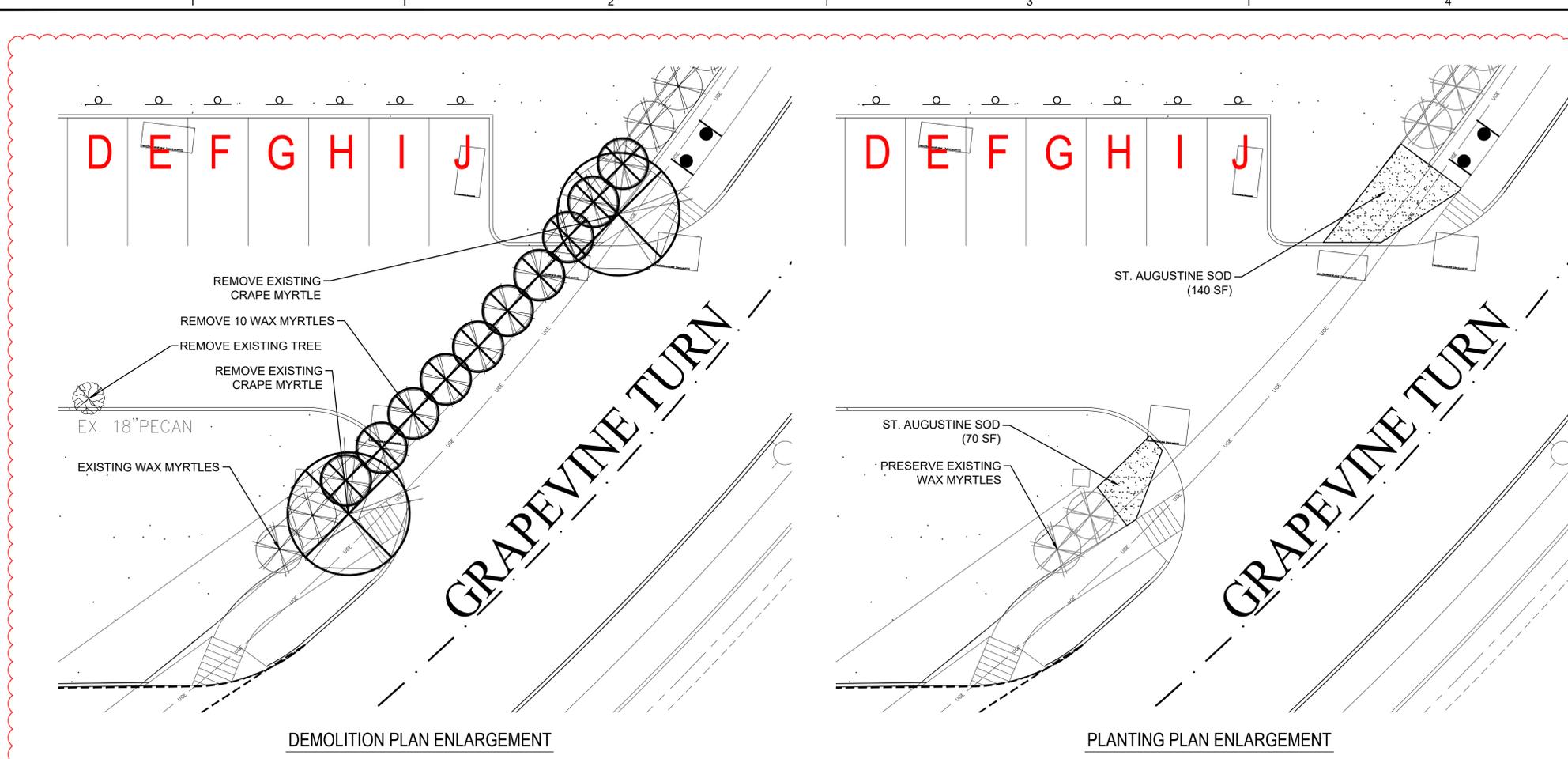
SHEET NO.: C-22



Date: September 27, 2017 User ID: pasquarelli
File: I:\PROJ\SK114551716\ACAD\PRODUCTION\707 C-2-2 - SITE PLAN.DWG

A1 SITE PLAN

SCALE: 1" = 60'



EXISTING TREES				
	Tree to Remain (Not to be Preserved Credit)			
	Tree to be Preserved		See Tree Preservation Chart	
PROPOSED TREES (PUBLIC R.O.W)				
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE AND REQUIREMENTS
	<i>Quercus virginiana</i>	Live Oak	3	3" cal. min. 30 gal. container; 8' to 9' tall. Tree form: Single trunk
	<i>Lagerstroemia indica 'Natchez'</i>	Natchez Crape Myrtle	17	2" cal. min. 15 gal. container; 7' to 8' tall
	<i>Myrica cerifera</i>	Wax Myrtle	16	2.5" cal. min. 30 gal. container; 8' tall. planted 7-0" O.C.
PROPOSED TREES (WITHIN PROPERTY)				
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE AND REQUIREMENTS
	<i>Lagerstroemia indica 'Natchez'</i>	Natchez Crape Myrtle	0	2" cal. min. 15 gal. container; 7' to 8' tall
	<i>Myrica cerifera</i>	Wax Myrtle	121	2.5" cal. min. 30 gal. container; 8' tall. planted 7-0" O.C.
	<i>Dialia indicoides</i>	Bicolor Iris	107	3 gal. planted at 30" O.C.
	<i>Lantana montevidensis</i>	Lantana Purple Trailing	1420	1 gal. planted at 12" O.C.
	<i>Fulghia violacea</i>	Soil: Garden	756	1 gal. planted at 12" O.C.
	<i>Photinia x fraseri</i>	Red Tip Blackberry	70	3 gal. planted at 48" O.C.
	<i>Sternotaphrum secundatum</i>	St. Augustine Sod	Vert: 50	All area within limit of the project including right of way area shall be cleaned, graded per final grading plan prior to grass sod.
			Vert: 10	Line all planted areas to meet edge.
Total Tree				22

Gravel Note

All parking lot medians are to be 4" thick compacted decomposed granite unless otherwise shown on the plan. See detail A2 on sheet L1-1.5

PLANTING NOTES

A. The contractor shall supply photos or samples of each plant species indicated on the planting legend to the Landscape Architect, to serve as minimum requirements of each species type.

B. The contractor shall obtain an agricultural soils analysis by an approved lab for soils amendments and planting media recommendations. Provide one copy to the landscape architect for approval prior to installation of soil mix.

C. The contractor shall be responsible for verifying all utility locations in the field prior to installation and shall be responsible for any damage to said utilities.

D. Tree material shall be planted a minimum of 3' from walkways, streets, or buildings unless otherwise noted on the drawings. Install deep Root Barriers at all trees within 3' of Walkways, streets, buildings, etc.

E. The contractor shall stake all tree locations and planting beds, and verify limits of turf in the field for approval by the landscape architect prior to installation.

F. Finish grade of all planting beds adjacent to buildings shall have a minimum of 4" clearance from top of slab.

G. All planting beds are to be excavated to a depth of 18" and backfilled. See specifications for appropriate backfill mix.

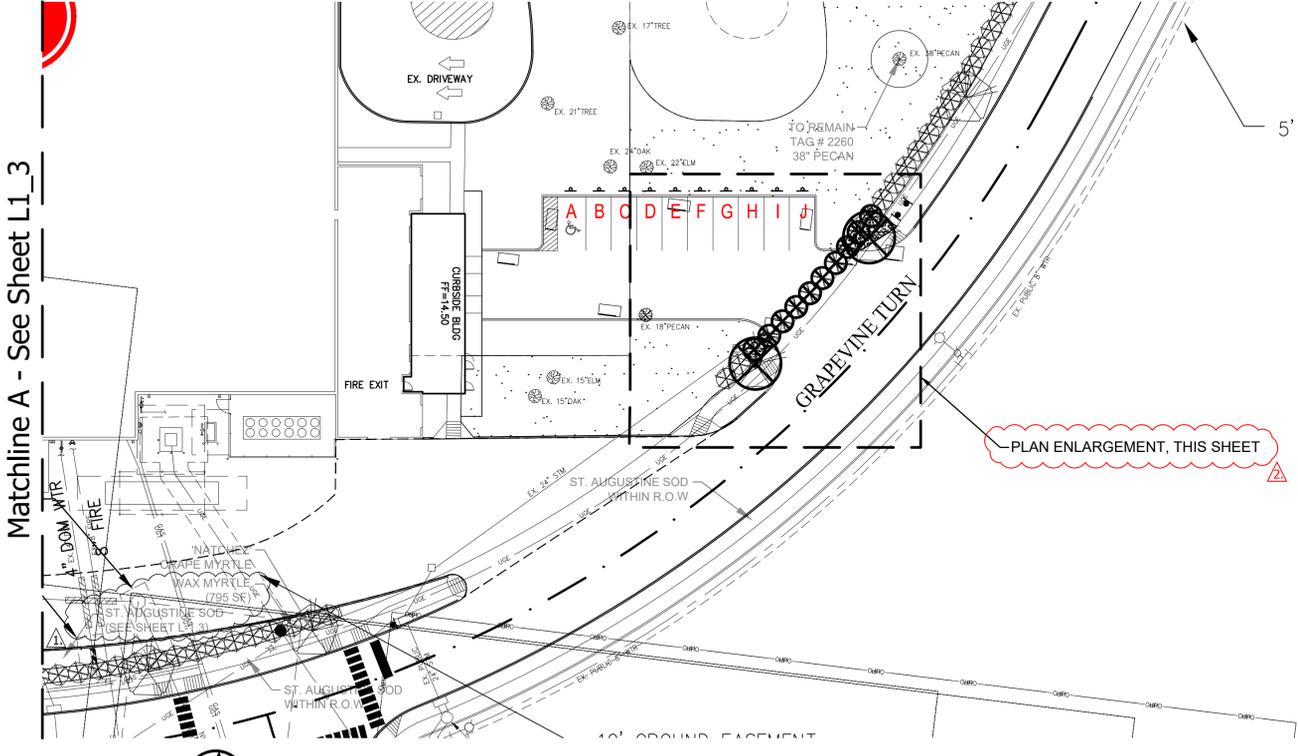
H. Stabilize soil below rootball prior to planting to prevent tree or shrub from settling.

I. The contractor is responsible for fine grading any areas disturbed by construction.

J. The contractor shall place ryerson steel edging (or equal) between all beds and turf areas as per details.

K. Contractor to repair or replace all disturbed turf areas from landscape construction outside of turf limits, within limit of work, with solid sod of matching existing species.

L. See sheet L1.2 For planting details and notes.



Summary of Oak Woods PUD Landscape Guidelines	Provided to Meet Requirements
Sec 11 (a) (1) The perimeter tree requirement of Section 90-63 (e) (1) do not apply to the driveway area, the greenbelt or parking lot, or the driveway.	Meet requirement as shown on plan
Sec 11 (c) No tree or landscaping shall be required in the interior of a parking lot or in the driveway.	Meet requirement as shown on plan
Sec 12 (a) Tree mitigation is not required for the removal of a protected or proposed tree located in the footprint of a building or in the parking area, private driveway, or private driveway.	Meet requirement as shown on plan
Sec 12 (b) (3) For lot greater than 5 acres, a minimum of 100 galper in the tree in the aggregate shall be preserved.	116" total galper of existing tree preserved
Sec 12 (c) Preserved trees shall be a minimum of 8 inches in caliper.	Meet requirement as shown on plan
Sec 12 (d) For evergreen that is not preserved (or is 100 galper in the lot), one (1) in the tree shall be planted on that lot.	Not Required
Sec 13 (a) An existing tree in the driveway shall be a living green on the lot or a dead tree or a dead tree item to a height of at least (6) feet.	Meet requirement as shown on plan

Summary of the Code of Ordinances of the City of Lake Jackson	Additional Conditions	Provided to Meet Requirements
Section 90-63		
(3) (1) A lot with a total area above 200,000 sq ft shall require landscape development covering 12.5% of the lot area not covered by buildings or parking.		Meet requirement as shown on plan
(3) (2) Based on the area of the lot not covered by buildings or parking, an area of 40,001 or greater square feet shall require one (1) tree, not limited to the minimum caliper tree.		Meet requirement as shown on plan
(3) (4) Tree planted to meet the requirement shall be a minimum of 50" large tree; 30 gallon tree; a diameter of 3 inches; Small tree shall be a minimum 15 gallon tree with a diameter of 2 inches.		Meet requirement as shown on plan
(3) (5) e. 2. An protected tree 6 inches or greater in diameter to be removed shall be replaced with a minimum of one (1) tree.	Sec 12 (a) of PUD Guideline	Not Required
(3) (5) e. 4. No more than (35) percent of the number of the replacement tree shall be of the same species as the (12) or more trees are replaced.		No Replacement Tree Required
(d) (2) One (1) small tree shall be planted to cover the parking lot or driveway.	Sec 11 (c) of PUD Guideline	Not Required
(e) (1) The perimeter of a parking lot, including driveway, shall contain a minimum of one (1) tree, starting at end point of a tree.	Sec 11 (a) (1) of PUD Guideline	5 Tree Provided (148" coverage 30" x 5)
(e) (2) The perimeter of a parking lot, including driveway, shall contain a minimum of one (1) tree, starting at end point of a tree.	Sec 13 (a) of PUD Guideline	6" S.S. Screening Provided
Section 110-168		
Screening on the lot shall be a minimum of 6 feet tall and shall be a minimum of 6 feet tall and shall be a minimum of 6 feet tall and shall be a minimum of 6 feet tall.	See Sec 13 (a) of PUD Guideline	6" S.S. Screening Provided

09/07/2017
 09/11/2017
 ISSUE 01
 REMOVED EX. TREE, 2 CM, 10 WM, - 4866 SF OF TURF PROPOSED 280 PF TURF

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 09/12/2017

LJA Engineering Inc.
 Phone 713.953.5200
 2929 Briarpark Drive Suite 600
 Houston, Texas 77042-3703
 FRN-F-1386

H-E-B

PLANTING PLAN
 MIDEAST SECTION

LAKE JACKSON STORE CORP 707
 97 OYSTER CREEK DRIVE
 LAKE JACKSON, TEXAS 77566

SCALE: AS INDICATED
 CONSUL: LJA
 PROJ. NO.: 1455-1404
 DATE: 07-22-2014
 SHEET NO.: L1_4



Standing at the parking lot, pharmacy drive thru on the right, looking at the five trees.



Tree at the curve of the pharmacy drive thru. It does not appear to be in a healthy state.



Tree stump.



Standing in the grass near the parking lot with the pharmacy drive thru on the right.

Middle tree on the left side. It does not appear to be in a healthy state.



Last two trees. Standing in the grass with HEB to the right.



Tree on the left on the back row.



Other side of the tree listed in previous picture.



Tree on the right on the back row.



1904 W Grand Parkway N, Suite 100, Katy, Texas 77449
t 713.953.5200 f 713.953.5026 LJA.com TBPE F-1386

Memorandum

To: Sal Aguirre, PE, City of Lake Jackson Engineer
Copy: David Rivera, PE, LJA Engineering Inc.
From: Steve Hobbs, PE, LJA Engineering Inc. 
Date: September 26, 2017
Re: HEB Curbside – Lake Jackson Drainage Memo
LJA Job No.: 1455-1716 (6.1)

The purpose of this memorandum is to explain the impact of the additional curbside building and parking to the overall drainage system.

The original storm sewer system for the site was designed and approved back in 2014. At that time the site was designed to handle a 10-year storm event and proposed impervious cover of 85% within the developed area. The proposed curbside expansion and parking lot is located within the approved area designed for future expansion. Based on this criteria, it is our conclusion that the proposed curbside expansion and parking lot addition will have no adverse impact on the existing storm sewer or drainage system.

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 2017.
BY THE PLANNING COMMISSION OF THE CITY OF LAKE JACKSON, TEXAS.

LOCKE SANDERS, CHAIR

HARRY SARGENT

JOHN FEY, VICE-CHAIR

BRENDA COLEGROVE

JEFFREY GILBERT, SECRETARY

VINAY SINGHANIA



LEGEND		
EXISTING	PROPOSED	
WM	WM	WATER METER
WV	WV	WATER VALVE
FH	FH	FIRE HYDRANT
GM	GM	GAS METER
SSMH	SSMH	SANITARY SEWER MANHOLE
SSCO	SSCO	SANITARY SEWER CLEANOUT
UP	UP	UTILITY POLE
LP	LP	SITE LIGHTING POLE
STMH	STMH	STORM MANHOLE
JB	JB	STORM JUNCTION BOX
CI	CI	CURB INLET
GI	GI	GRATE INLET
	+	SIGN
OHE	OHE	EXISTING OVERHEAD ELECTRIC LINE
		PROPOSED CURB AND GUTTER
		PROPOSED FIRE LANE
		PROPOSED CONCRETE SIDEWALK
		PROPOSED STANDARD DUTY PAVEMENT
		PROPOSED HEAVY DUTY PAVEMENT

REVISIONS	
DATE	DESCRIPTION



- #### SITE NOTES
- EXISTING UTILITY SYSTEMS, WATER, SANITARY SEWER, AND STORM SEWER DRAINAGE SYSTEMS, ARE PRIVATELY OWNED AND MAINTAINED AND SHALL REMAIN AS APPROVED IN ORIGINAL 1994 LOWE'S DEVELOPMENT SITE PLAN.
 - CROSS ACCESS AGREEMENT IN EFFECT PROVIDES ACCESS TO TRAFFIC AND DRAINAGE OF OUTPARCEL TRACT.

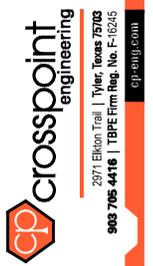
LOWE'S PARKING ANALYSIS

LOWE'S BUILDING:	129,335 S.F.
PARKING - EXISTING:	610 SPACES
PARKING - PROPOSED:	11 SPACES
PARKING - TOTAL:	621 SPACES
PARKING RATIO:	4.80/1,000 S.F.

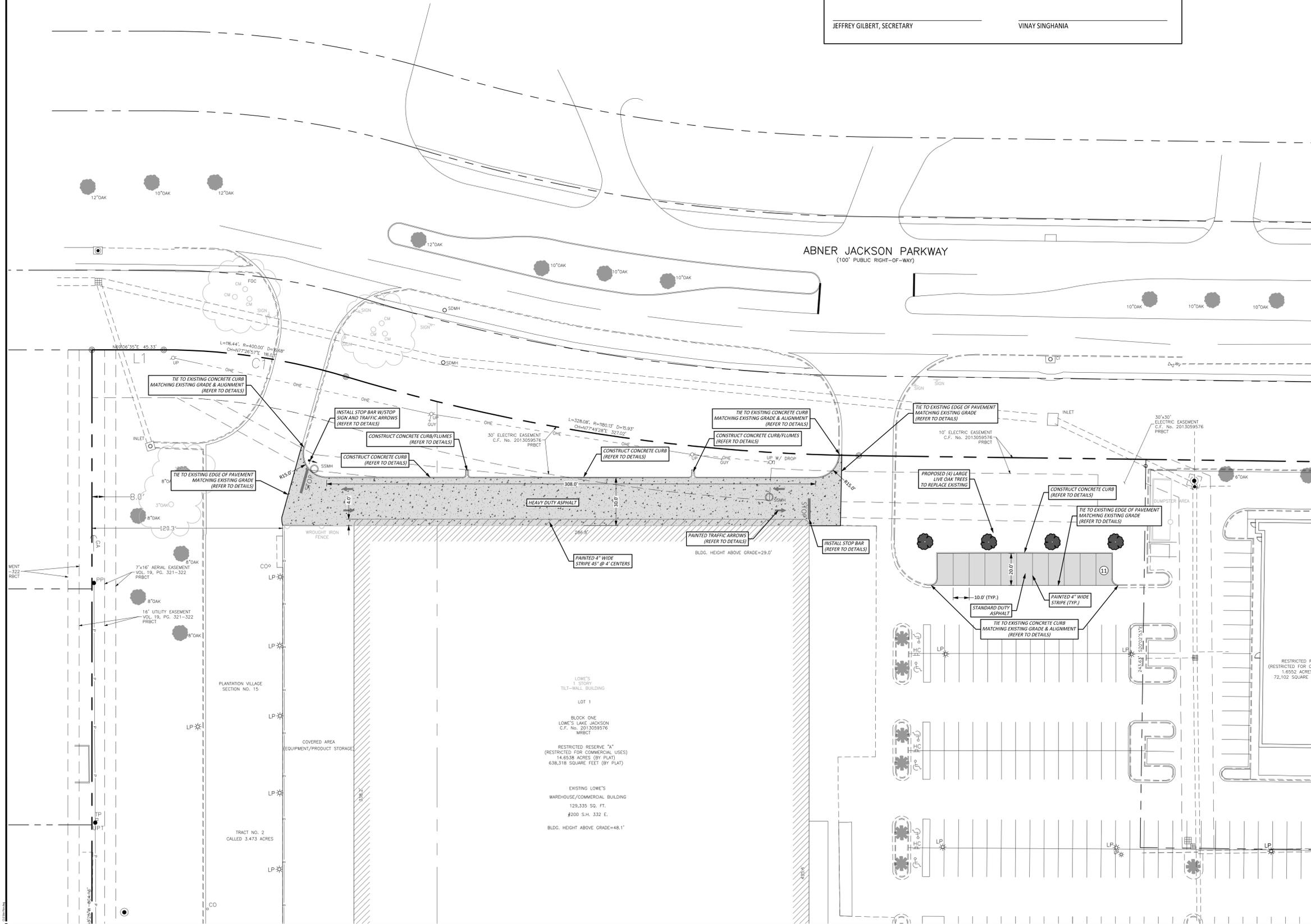
LOWE'S LANDSCAPE ANALYSIS - POST PARKING AND DRIVE DEVELOPMENT

LOWE'S LANDSCAPE COVERAGE:	20.5%
LOWE'S LANDSCAPE REQUIRED:	10%

* ALL LANDSCAPING SHOWN PER ORIGINAL LOWE'S DEVELOPMENT LANDSCAPING PLANS AND SDI REALITY OUT PARCEL DEVELOPMENT AS ACCEPTED BY PLANNING COMMISSION.

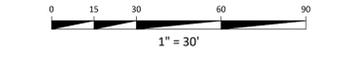


LOWE'S HOME CENTERS, INC.
1605 CURTIS BRIDGE ROAD
WILKESBORO, NC 28687
336.658.4000 (V) 336.658.2527 (F)
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SHEET INDEX

C1.0	SITE PLAN AMENDMENT OVERALL
C1.1	SITE PLAN AMENDMENT
L1.0	LANDSCAPE PLAN AMENDMENT OVERALL
L1.1	LANDSCAPE PLAN AMENDMENT



SITE PLAN AMENDMENT
LOWE'S OF:
LAKE JACKSON, TEXAS
PROJECT No. 17-1500-25 | DRAWN BY: XX | CHECKED BY: XX

CRITERIA
ISSUE DATE:
PERMIT SET
ISSUE DATE:
CONSTRUCTION
SET ISSUE DATE:
DRAWING NUMBER:

C1.1

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 2017.
BY THE PLANNING COMMISSION OF THE CITY OF LAKE JACKSON, TEXAS.

LOCKE SANDERS, CHAIR _____ HARRY SARGENT _____
JOHN FEY, VICE-CHAIR _____ BRENDA COLEGROVE _____
JEFFREY GILBERT, SECRETARY _____ VINAY SINGHANIA _____



LEGEND

	EXISTING WILLOW OAK
	EXISTING TULSCARORA CRAPE MYRTLE
	PROPOSED TREE (LIVE OAK)

SITE NOTES

- EXISTING UTILITY SYSTEMS, WATER, SANITARY SEWER, AND STORM SEWER DRAINAGE SYSTEMS, ARE PRIVATELY OWNED AND MAINTAINED AND SHALL REMAIN AS APPROVED IN ORIGINAL US94 LOWE'S DEVELOPMENT SITE PLAN.
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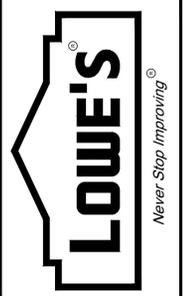
REVISIONS

DATE	ISSUE DATE	DESCRIPTION



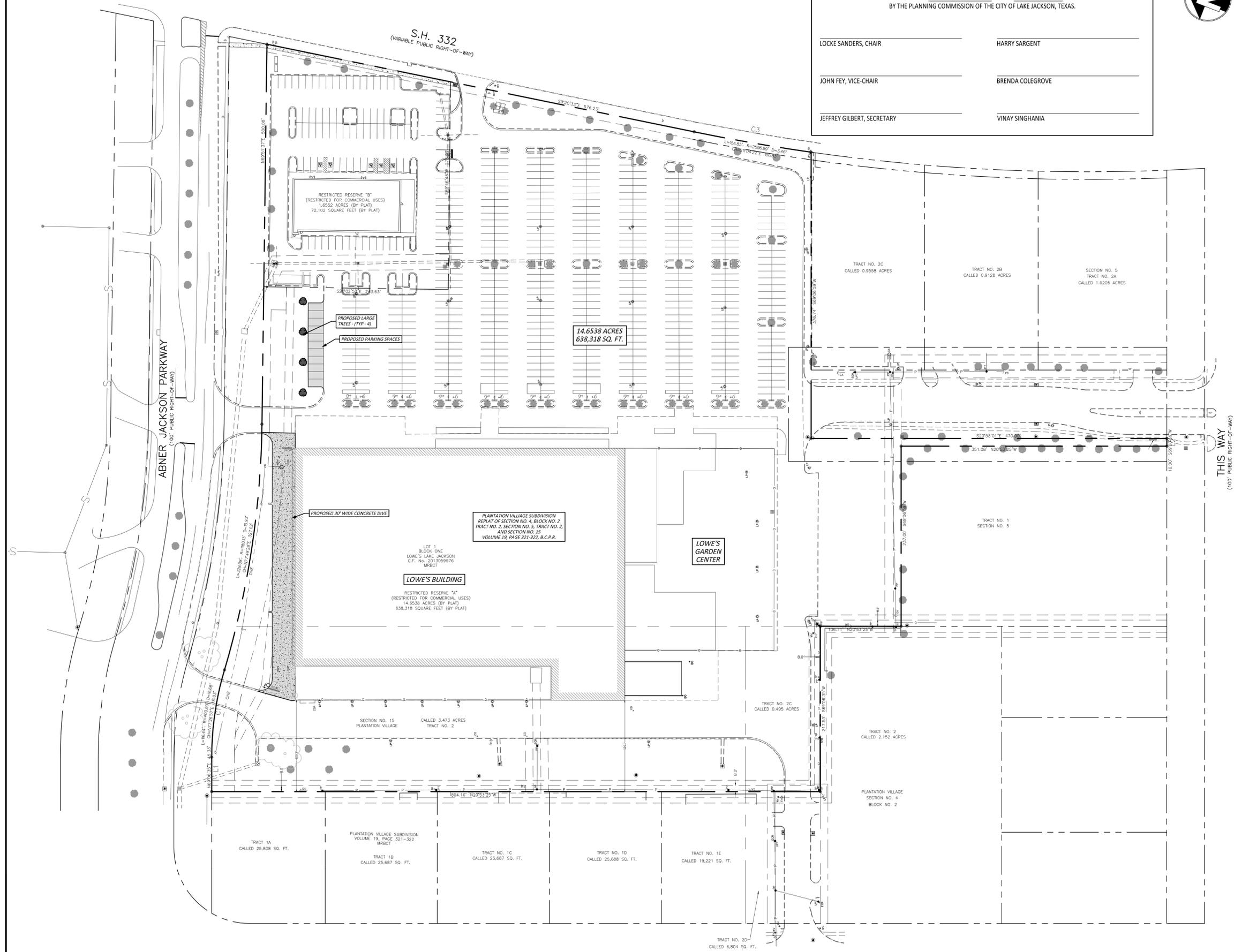
crosspoint engineering
2971 Elkhorn Trail | Tyler, Texas 75703
903 705 4416 | TPBE Firm Reg. No. F-16245
www.crosspointeng.com

LOWE'S HOME CENTERS, INC.
1605 CURTIS BRIDGE ROAD
WILKESBORO, NC 28697
336.658.4000 (V) 336.658.2527 (F)
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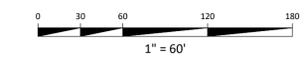
SITE PLAN AMENDMENT OVERALL
LOWE'S OF:
LAKE JACKSON, TEXAS
PROJECT No: 17-1500-25 | DRAWN BY: XX | CHECKED BY: XX

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L1.1	LANDSCAPE PLAN AMENDMENT



4" YELLOW STRIPING @
24" O.C.

OGP PICK-UP DOOR
PAINT P126U, REF 6-A1

7
SP1

4
SP1

9
SP1

F.V.

98'-0"

3

SITE PLAN

1" = 20'-0"

